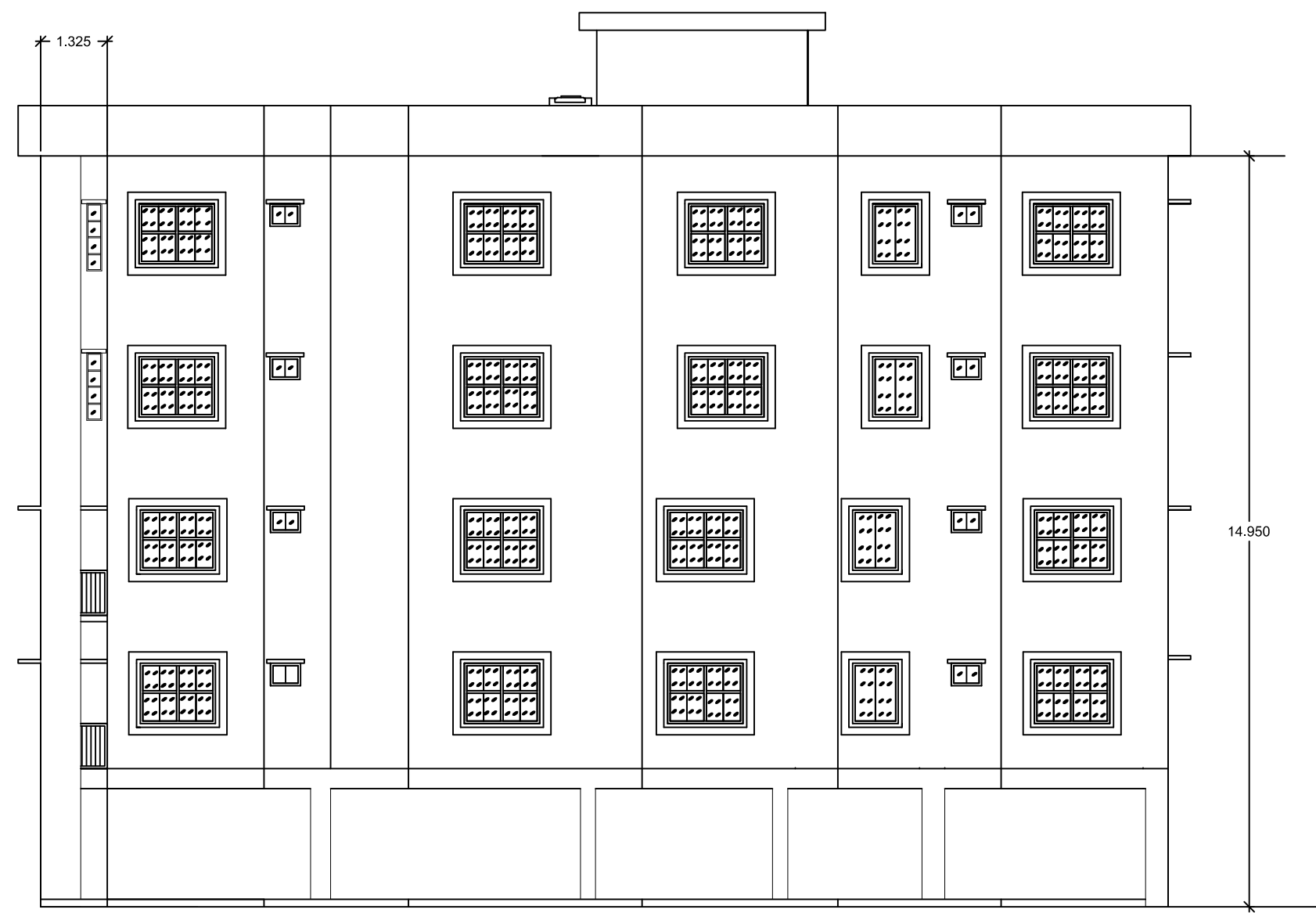
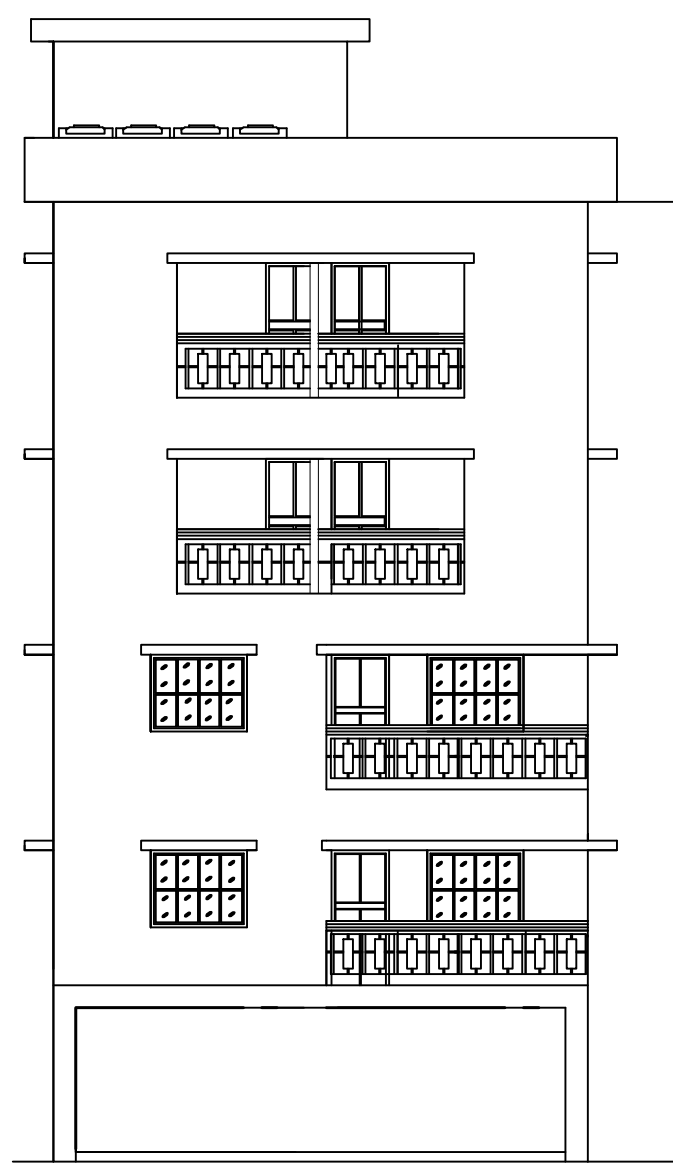




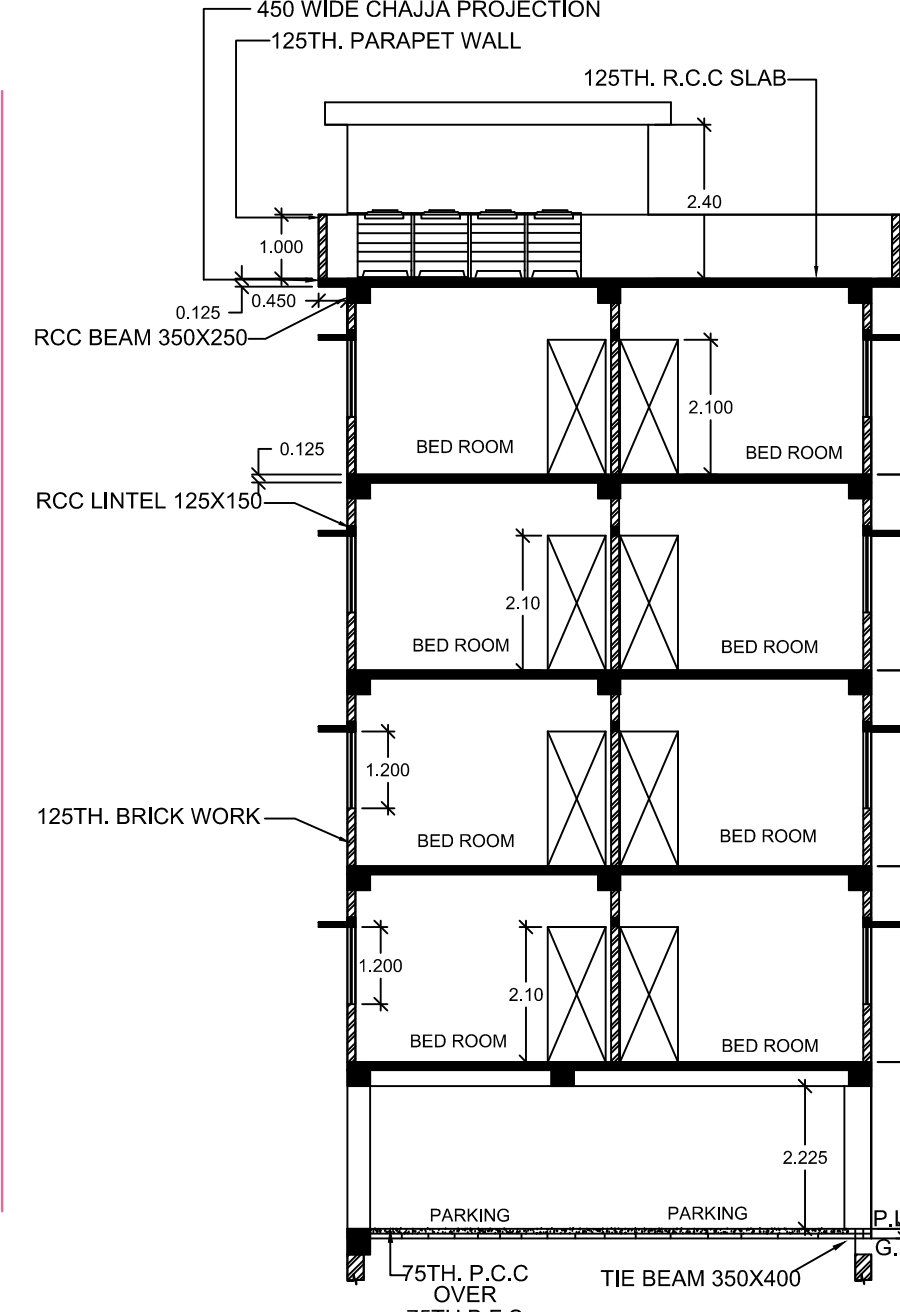
WEST SIDE ELEVATION
SCALE:- 1:1



FRONT ELEVATION
SCALE:- 1:1

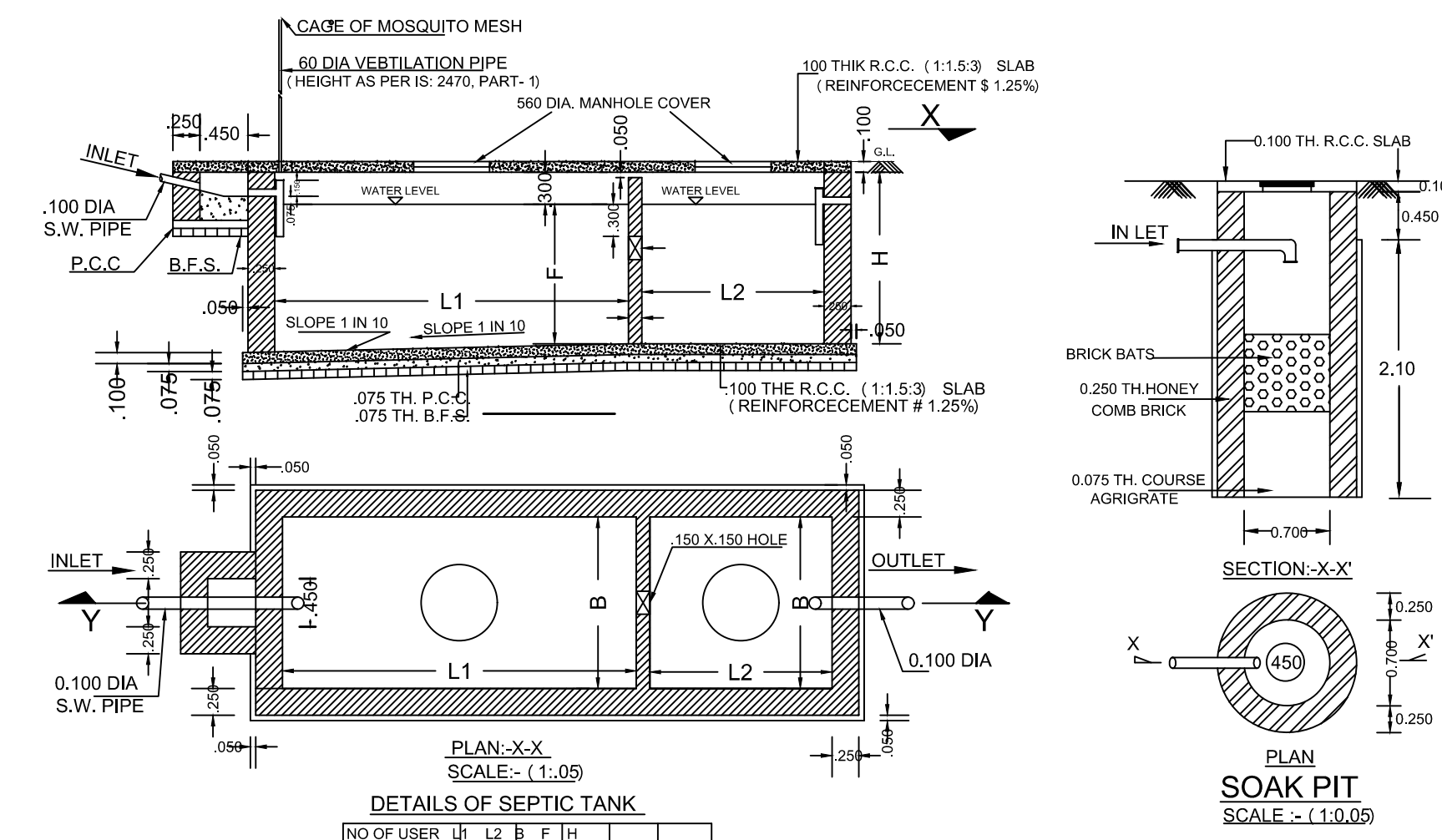


SECTION THROUGH B-B
SCALE:- 1:1



SECTION THROUGH A-A
SCALE:- 1:1

TO WHOM IT MAY CONCERN			
THIS IS TO STATE THAT THE WASTE RECYCLING SYSTEM WILL NOT BE REQUIRED FOR THE FOLLOWING BUILDING AS THE TOTAL WASTE DISCHARGE IS LESS THAN 40.000			
SL.NO.	PROJECT	NOS. OF FLATS	TOTAL WASTE WATER DISCHARGE
(1)	PROPOSED G+4 STORED RESIDENTIAL BUILDING	10NOS.	CONSIDERING 60LTS. PER HEAD PER DAY = 130 LT. X 30 PERSONS (AV) X 10 FLATS. = 39000LTS



DETAILS OF SEPTIC TANK
SCALE:- 1:100

PROJECT TITLE:-
PLAN SHOWS THE PROPOSED G(PARKING)+FOUR STORED RESIDENTIAL BUILDING.

OWNERS :-
1. SRI RATAN BARAI
2. SRI BACHCHU BARAI
3. SRI BIKASH BARAI
ALL ARE SONS OF LT GANESH CHANDRA BARAI
4. SMT. GITA BISWAS
5. SMT. SUCHITRA SAHA
BOTH ARE DAUGHTERS OF LT GANESH CHANDRA BARAI
6. SMT. ANJALI BARAI
DAUGHTER IN LAW OF LT GANESH CHANDRA BARAI
7. SRI PANKAJ BARAI
GRAND SON OF LT GANESH CHANDRA BARAI
8. SMT. PANKI GUHA NEOG(BARAI)
9. SMT. RINKI BARAI
BOTH GRAND DAUGHTER OF LT GANESH CHANDRA BARAI
10. SRI SWAPAN BARAI
11. SRI TAPAN BARAI
12. SMT. RUMPA CHATTERJEE(BARAI)
ALL SON & DAUGHTER OF LT SUBHASH BARAI

LOCATION:-
SUIYA NAGAR,DABGRAM COLONY NO-1,
SHILIGURI,UNDER S.M.C. WARD NO. 23

LAND SCHEDULE :-			
MOUZA - SHILIGURI PURBO	PLOT NO. - (RS) 13684 (LR) 9425	JL NO. -	OLD-110 NEW-92
PARGANA - BAKUNTHAPUR	P.S - SHILIGURI	DOOR WINDOW FRAME	SHEET NO.- 19 (RS)
PIN NO -734006	HOLDING NO - 549441	DIST. DARJEELING	
P.S. - SHILIGURI	S.M.C WARD NO - 23	BOROUGH NO.3	
KHATTANO - (R.S) 151			
(LR) 6851,6852,6853,6854,6855,6856,6857,6858,6880,11584,11585 & 11586			

LU.C.C. MEMO NO. - 2825/SJDA. DATE-27/09/2018.

DOOR AND WINDOW SCHEDULE			
DOOR	WINDOW	W=	V=
1.1.100 X 2.100	1.1.100 X 2.100	1.50 X 1.20	0.30X1.34
D=1.000 X 2.100	D=1.000 X 2.100	W=1.00 X 1.20	V=1.00 X 1.34
Q=1.000 X 2.100	Q=1.000 X 2.100	W=1.00 X 1.20	V=1.00 X 1.34

AREA STATEMENT SUMMARY:
LAND AREA AS PER DEED- 334.45M². LAND AREA AS PER SITE- 334.29M².
LAND AREA AS LUCC 334.30 SQM ROAD WIDTH 11.80 M.

RULE NO	PARAMETER	PERMISSIBLE	PROPOSED
49 (3)	BUILDING HEIGHT	40.0	14.85
48 (A)	FAR	2.25	46.55%
46 (1) a/b	GROUND COVERAGE :		
	COVERED AREA :	194.95sq.m.	155.60sq.m.
	MINIMUM WIDTH OF PLOT	N.A.	38.43SQ.M
	TOTAL BUILTUP AREA	N.A.	666.00SQ.M
	FLOOR AREA (FOR FAR)	752.15SQ.M	639.33SQ.M
	COVERED AREA :	194.95SQ.M	155.60SQ.M
	TENEMENT	10NOS.	
	PARKING :	5NOS.	

FLOORWISE BREAKUP					
FLOOR NAME	TOTAL AREA	EXEMPTION	EXEMPTION FOR COVERED AREA	EXEMPTION FOR COVERED AREA	FLOOR AREA FOR FAR
FLOOR 01	173.20M ²	---	173.20M ²	17.68M ²	155.52M ²
FLOOR 02	173.20M ²	---	173.20M ²	17.68M ²	155.52M ²
FLOOR 03	173.20M ²	---	173.20M ²	17.68M ²	155.52M ²
FLOOR 04	173.20M ²	---	173.20M ²	17.68M ²	155.52M ²
FLOOR PARKING	173.20M ²	---	31.27M ²	125.00M ²	16.93M ²
TOTAL	666.00M ²	---	194.95M ²	125.00M ²	639.33M ²

TENEMENTS DETAILS			
BUILDING NAME	FLOOR NAME	TENEMENTS REFERENCE	TENEMENTS AREA
SINGLE BUILDING	FLOOR 01	TENEMENT-A	51.50M ²
	FLOOR 02	TENEMENT-B	51.50M ²
	FLOOR 03	TENEMENT-C	51.50M ²
TOTAL 173.10M ²			
SINGLE BUILDING	FLOOR 01	TENEMENT-D	51.50M ²
	FLOOR 02	TENEMENT-E	51.50M ²
	FLOOR 03	TENEMENT-F	51.50M ²
TOTAL 154.75M ²			
GRAND TOTAL 605.85M ²			

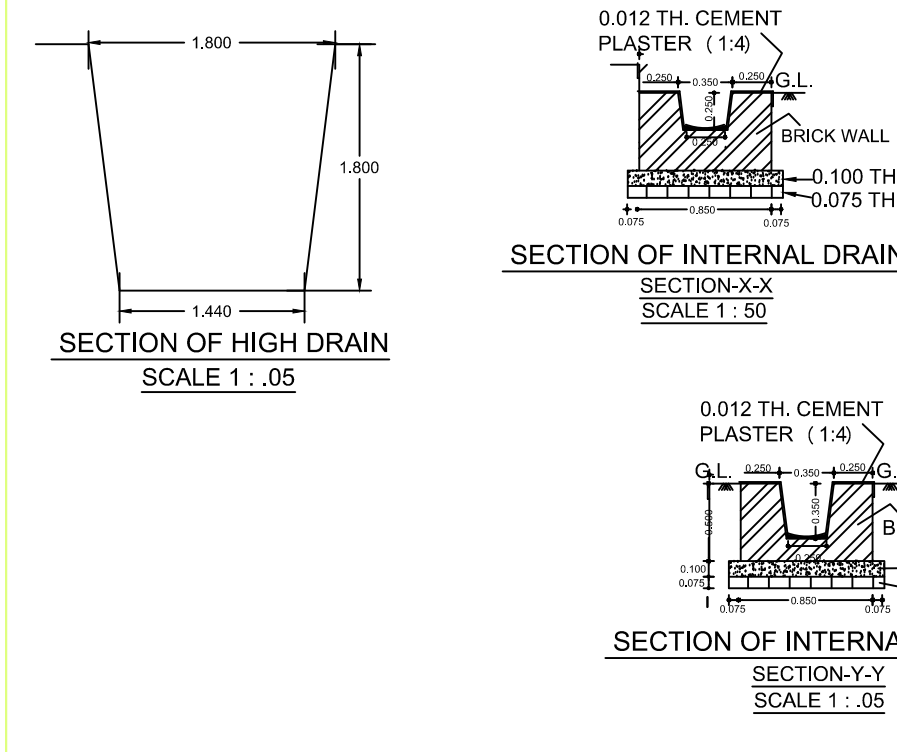
TREE COVER CALCULATION:
PROPOSED GR. FLOOR AREA - 173.20M²
TOTAL PROPOSED BUILDING AREA - 173.20M² - 173.20M² = 866.0 M² 2.16% AREA
2.16% AREA REQUIRED FOR TREE COVER
AREA OF TREE COVER > 7.22M²

SPECIFICATION
(1) ALL DIMENSION ARE IN MM.
(2) ALL R.C.C. WORK SHALL BE OF M-20 GRADE.
(3) ALL P.C.C. WORK SHALL BE OF M-10 GRADE.
(4) GRADE OF STEEL Fe-500.
(5) LAP BOND LENGTH SHALL BE 50 D WHERE D IS DIA OF BAR.
(6) 25 TH. D.P.C. WITH 1:4 C.C. WITH 1MM. DOWN STONE CHIPS.
(7) DOOR AND WINDOW FRAME SIZE IS OF 150X62 S.
(8) 125 TH. BRICK WALL WITH 1:4 CEMENT SAND MORTAR.
(9) FLOORS ARE OF L.P.S. FLOOR MOSAIC AND MARBLE.

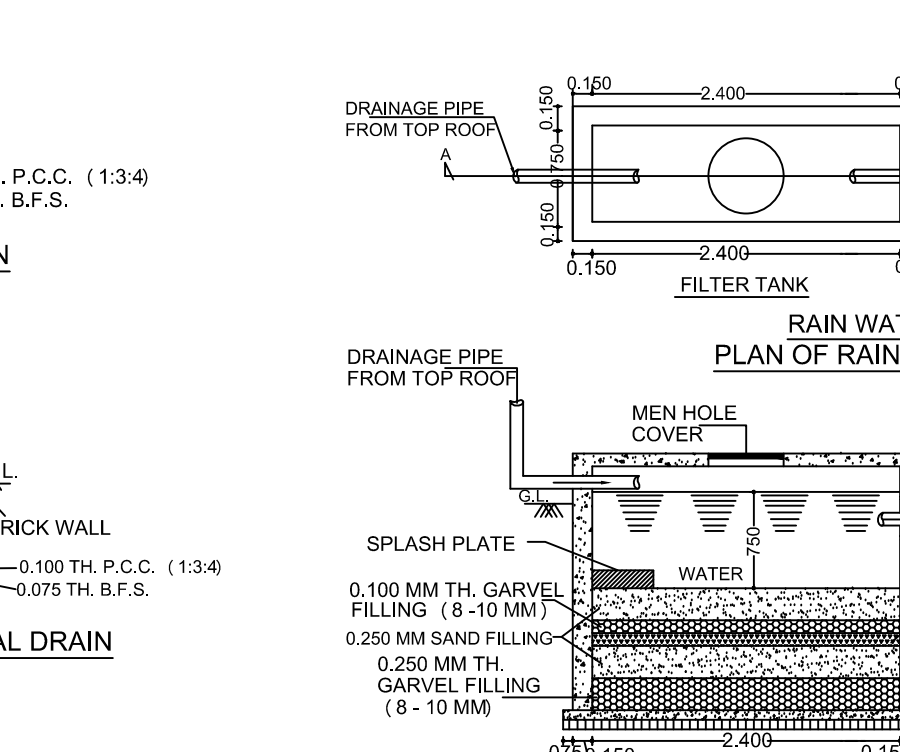
DECLARATION OF OWNER:-
We do hereby declare that the building proposed for construction shall be supervised by the L.B.A./L.B.S. signing the building plan application or in this absence by any other L.B.A./L.B.S. of the appropriate category & as approved by the authority.

DECLARATION OF GEO. TECH. & STRUCTURAL ENGL:-
We do hereby certify that the foundation and superstructure of the building proposed for construction on Plot no 13684 (R.S.) & 9425 (L.R.) At Suiya Nagar, Dabgram Colony No 1, Shiliguri, Dist. Darjeeling Ward no 23, (S.M.C.) under the jurisdiction of Shiliguri Municipal Corporation/Notified Area Authority/Inspected Township Authority have been personally inspected and so designed by me will make such foundation and super structure safe & all respect including the consideration of bearing capacity and settlement of soil and other condition if any conforming to all stipulations of all relevant IS CODE of practice and National Building Code.

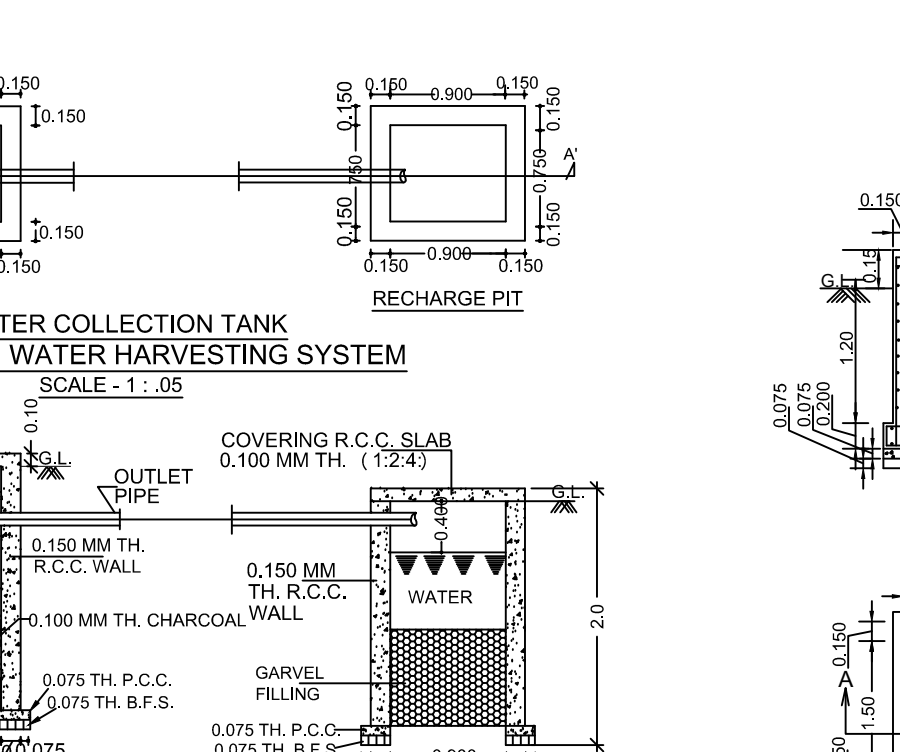
DECLARATION OF L.B.S./L.B.A. :-
I do hereby certify that plans, elevations and section and other structural details of the proposed building on Plot no 13684 (R.S.) & 9425 (L.R.) At Suiya Nagar, Dabgram Colony No 1, Shiliguri, Dist. Darjeeling Ward no 23, (S.M.C.) under the jurisdiction of Shiliguri Municipal Corporation/Notified Area Authority/Inspected Township Authority have been personally inspected and so designed by me will make such foundation and super structure safe & all respect including the consideration of bearing capacity and settlement of soil and other condition if any conforming to all stipulations of all relevant IS CODE of practice and National Building Code.



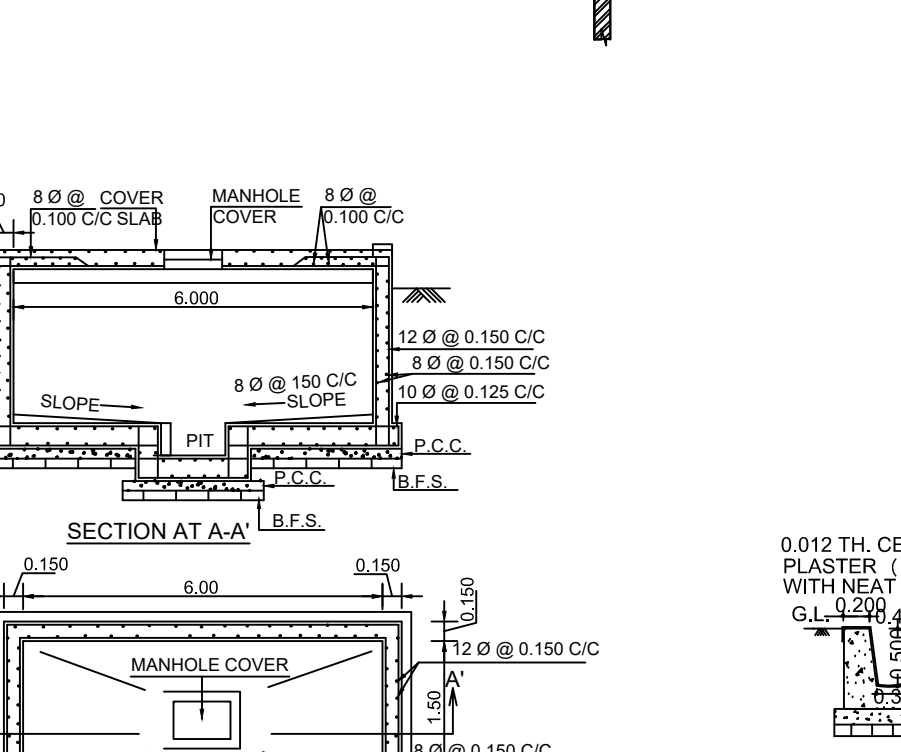
SECTION OF HIGH DRAIN
SCALE:- 1:100



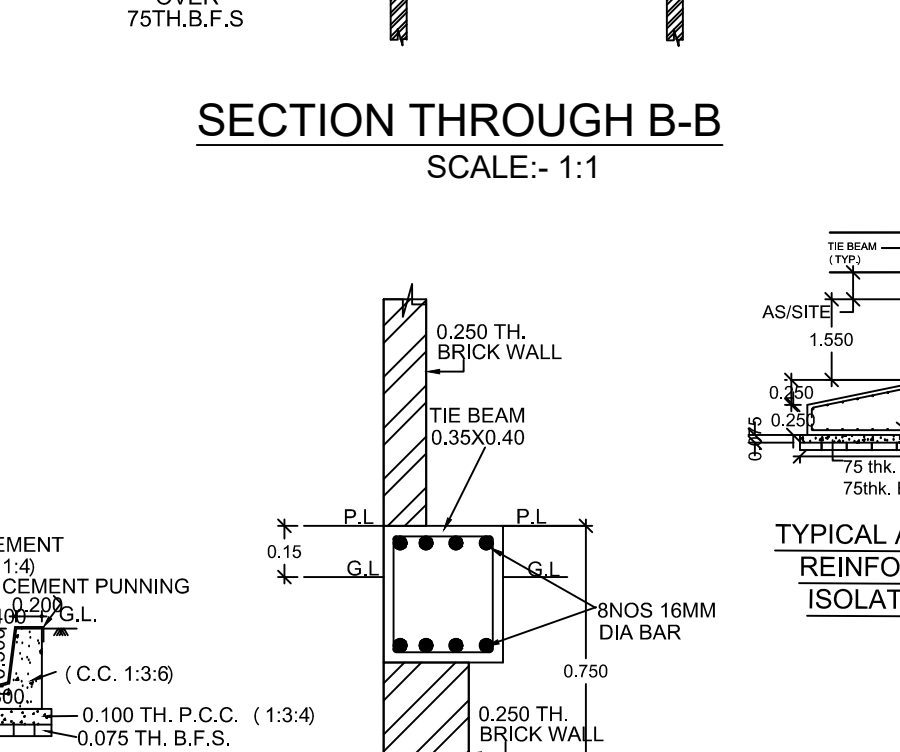
SECTION OF INTERNAL DRAIN
SCALE:- 1:100



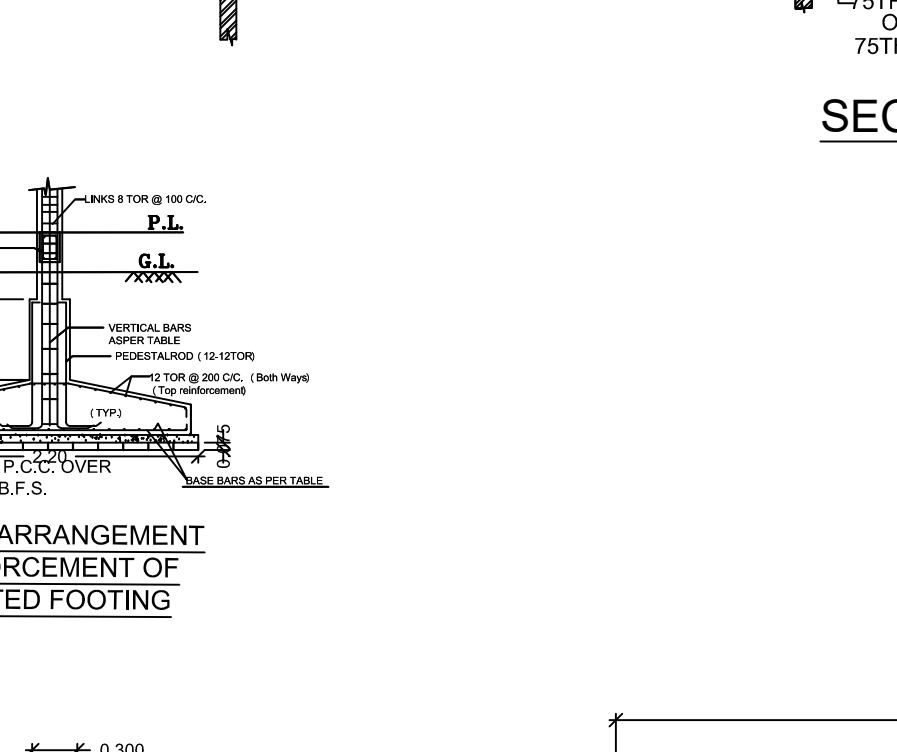
PLAN OF RAIN WATER HARVESTING SYSTEM
SCALE:- 1:100



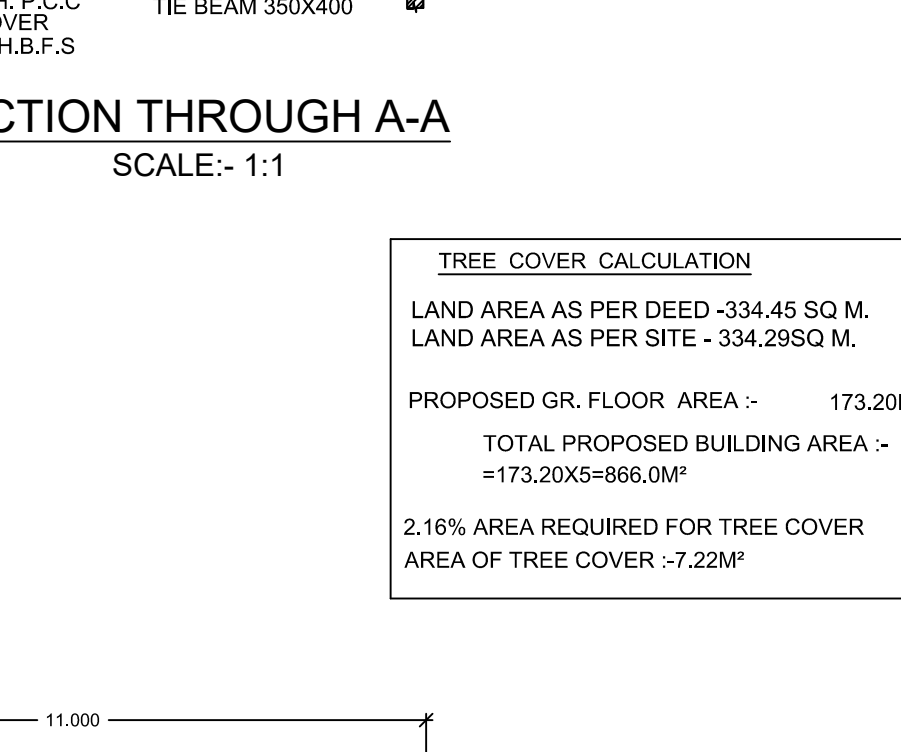
SECTION AT A-A
SCALE:- 1:100



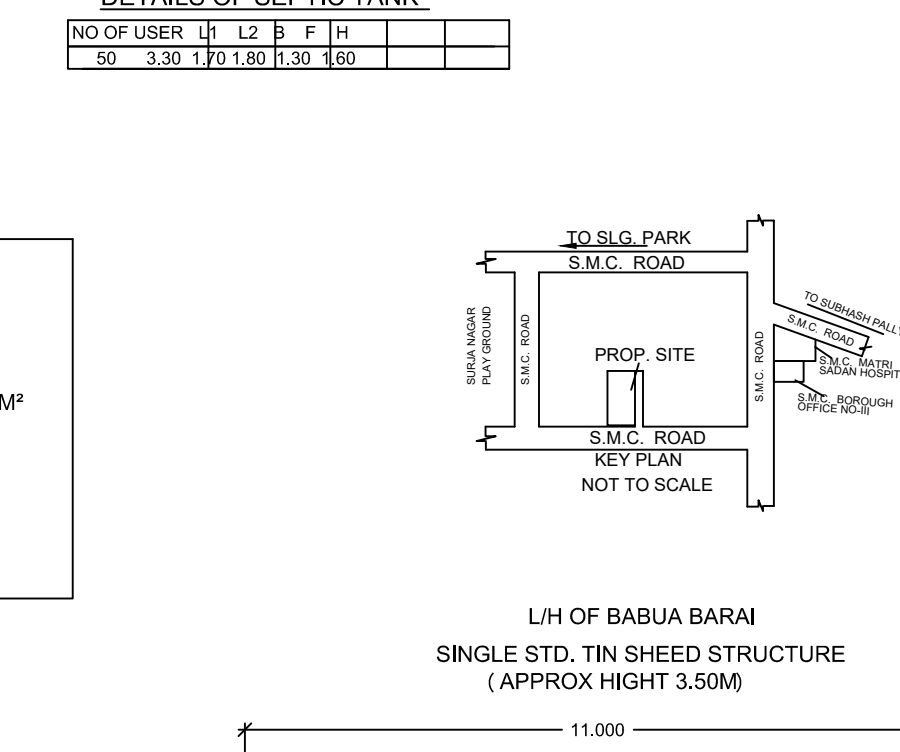
PLAN OF UNDER GROUND WATER RESERVOIR
(CAPACITY=10.000 LTRS. (N.T.S.))



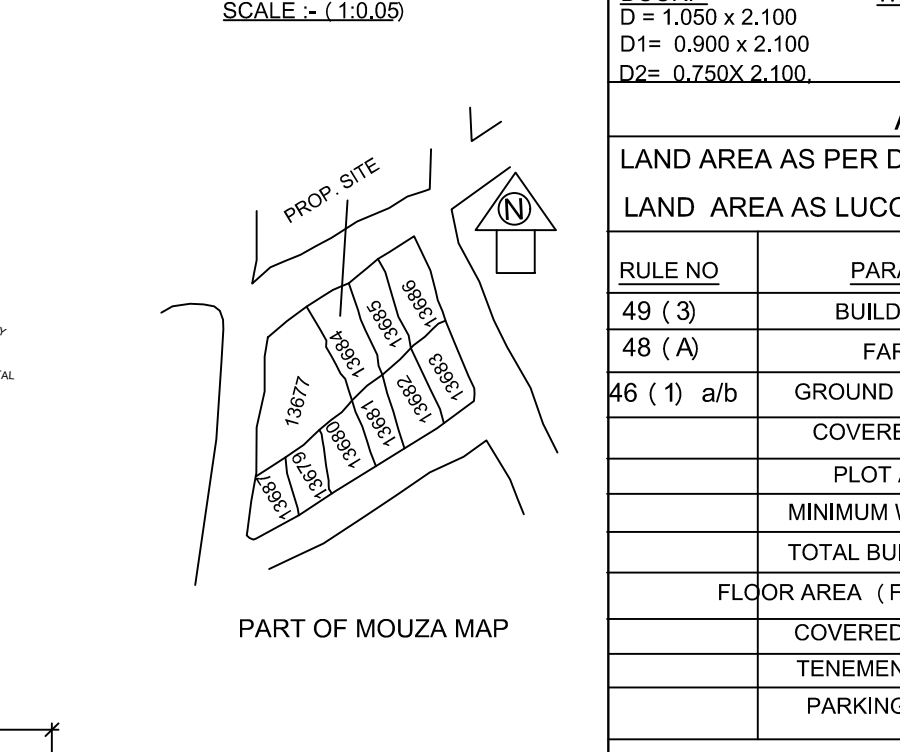
TYPICAL ARRANGEMENT
REINFORCEMENT OF
ISOLATED FOOTING
SCALE:- 1:100



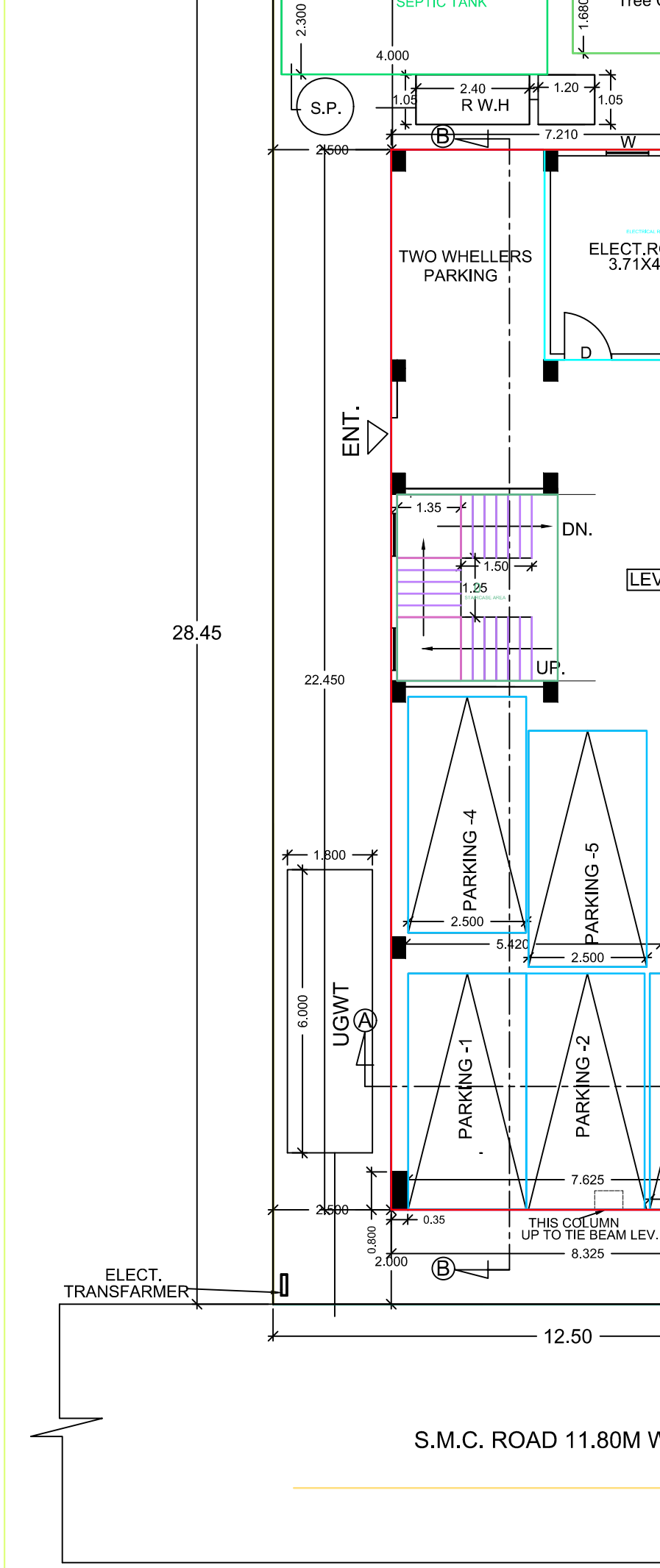
DET. OF WALL FOUNDATION
SCALE:- 1:100



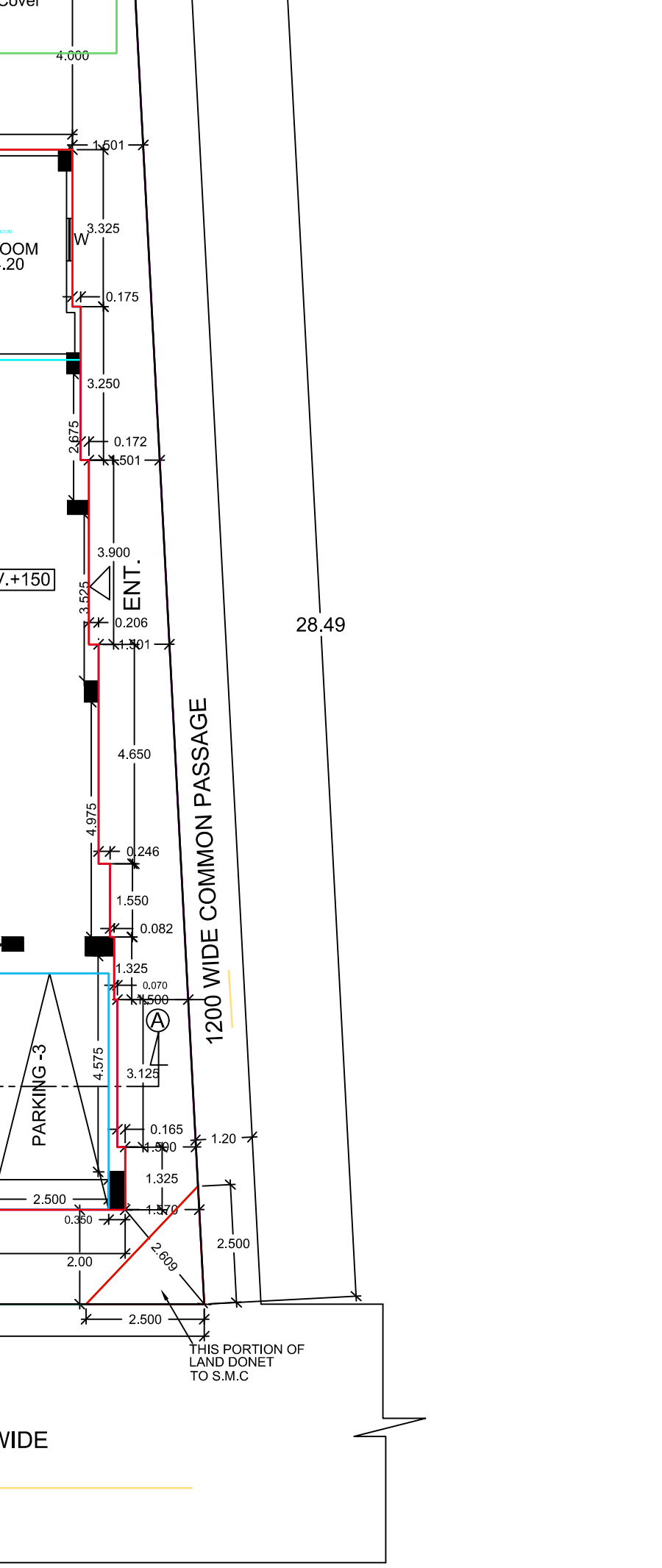
DET. OF COLUMN FOUNDATION
SCALE:- 1:100



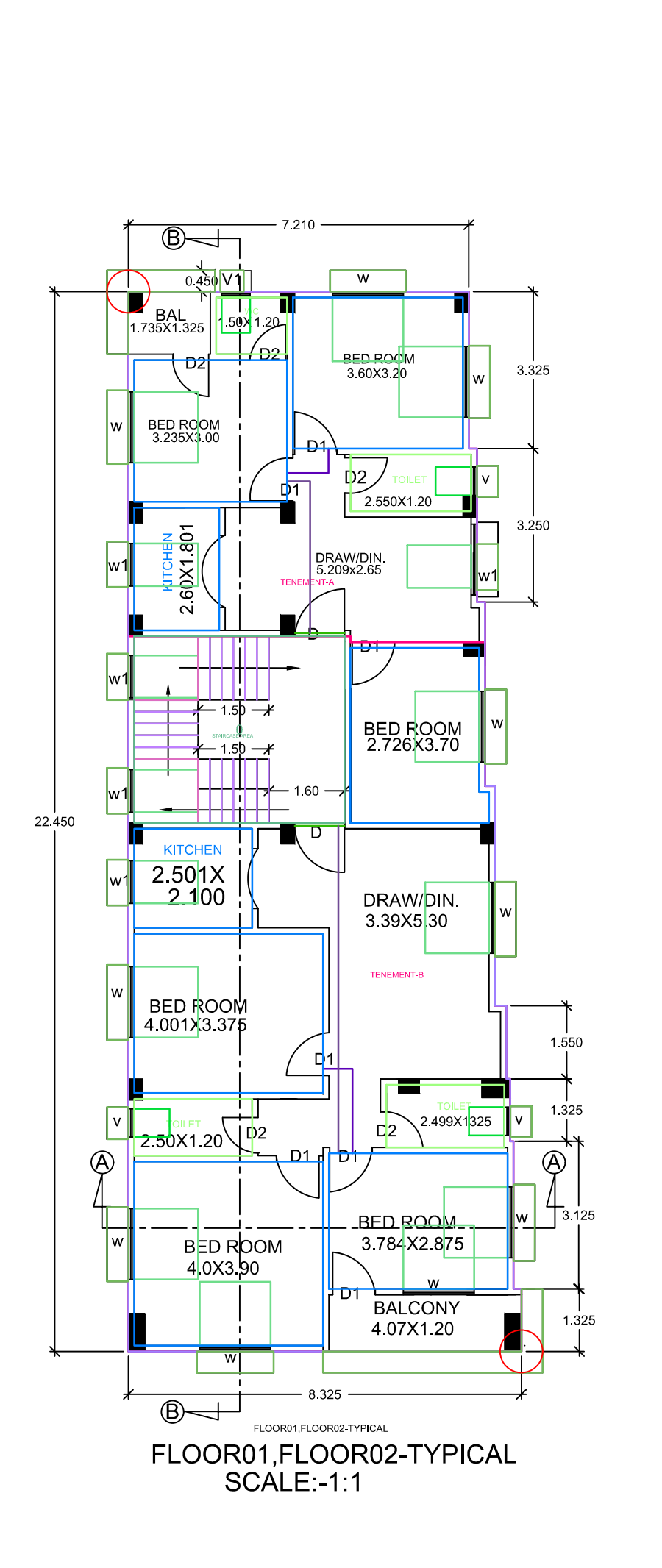
PART OF MOUZA MAP
SCALE:- 1:100



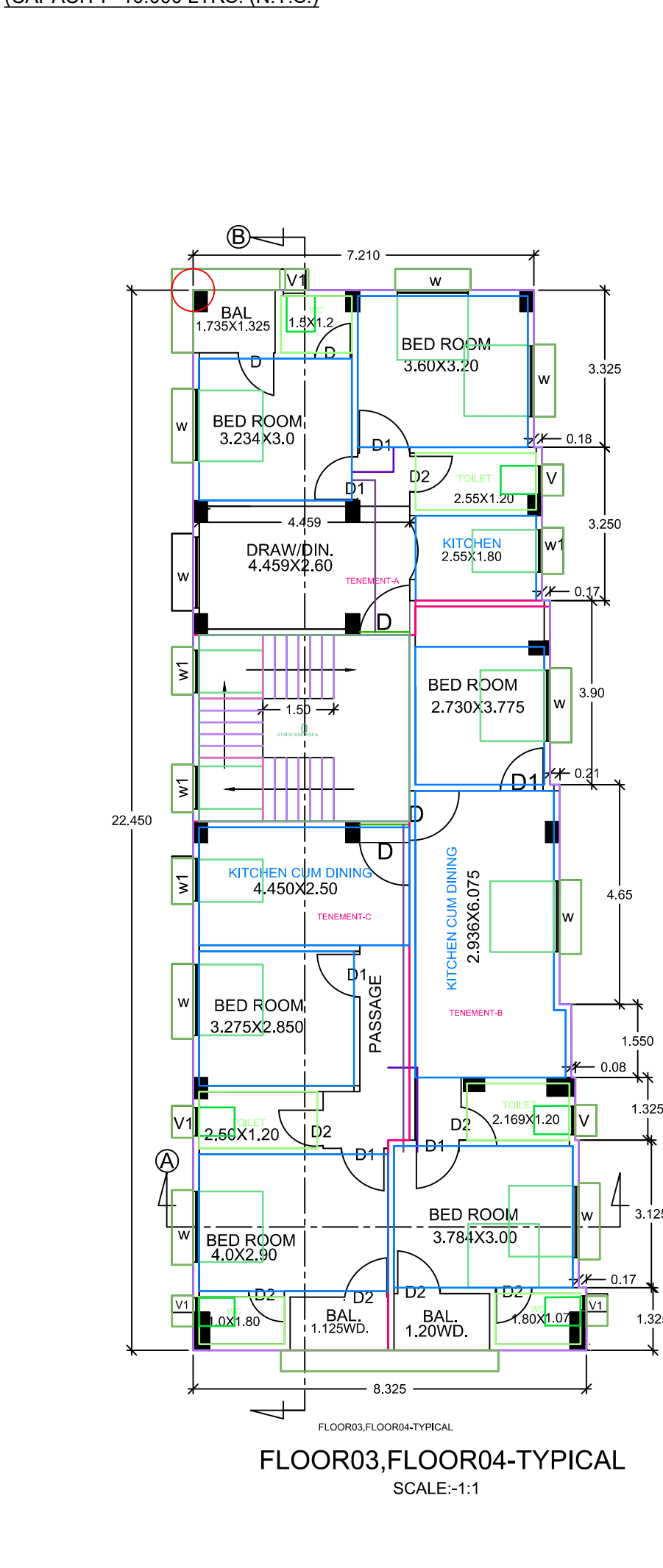
FLOOR-PARKING
SCALE:- 1:100



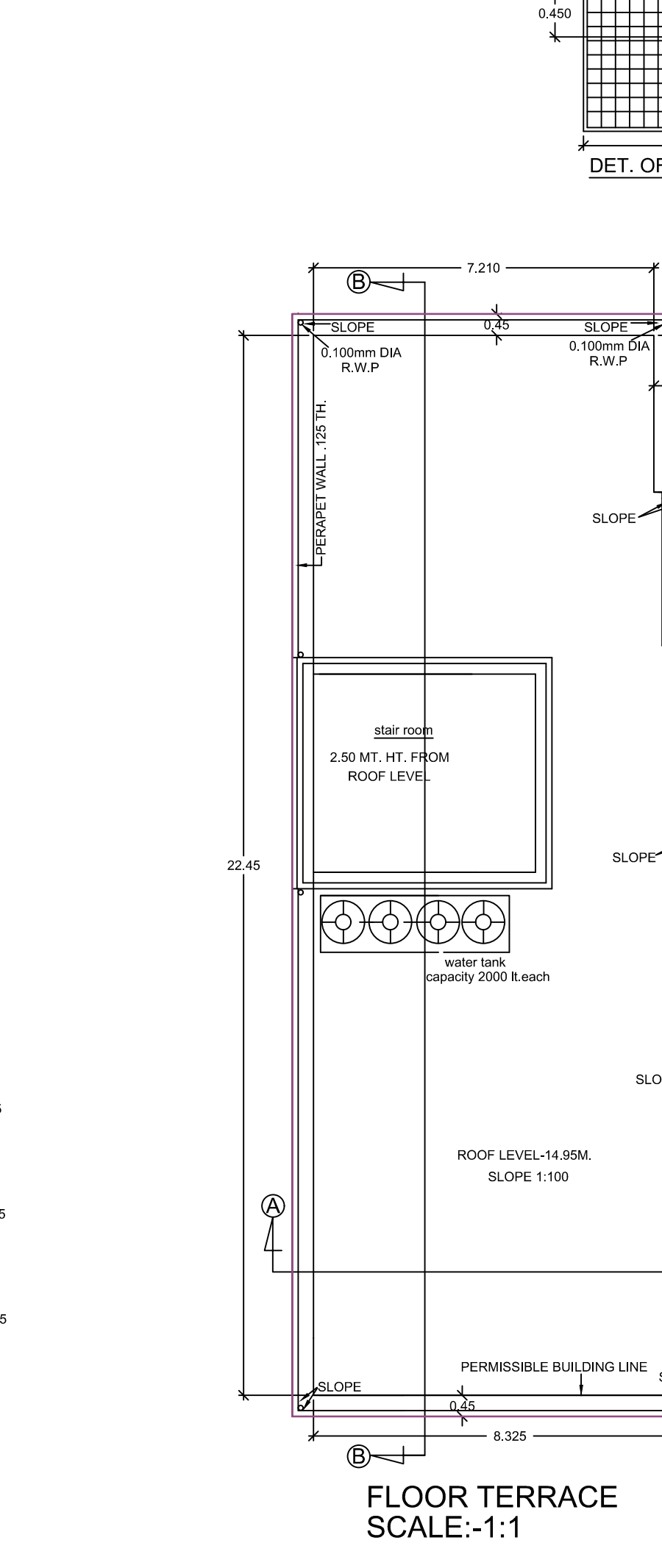
FLOOR01, FLOOR02-TYPICAL
SCALE:- 1:100



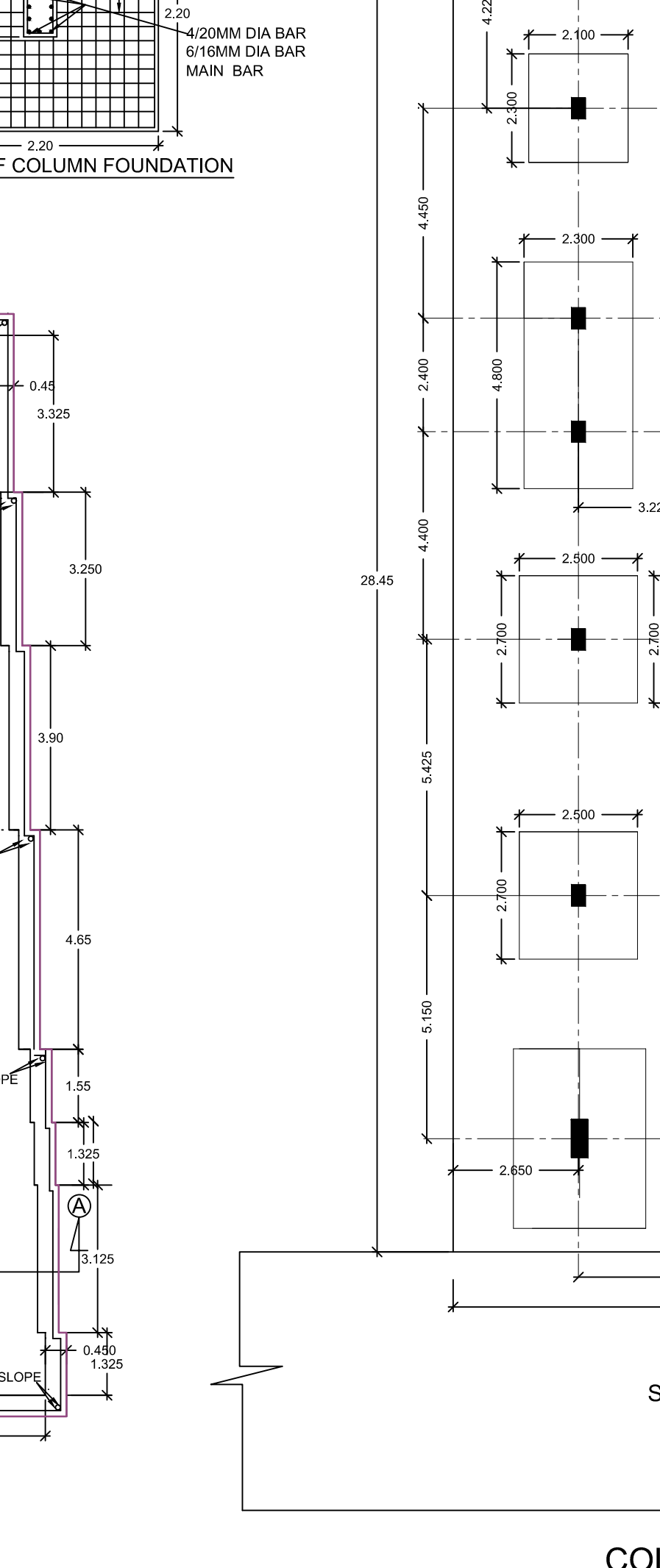
FLOOR03, FLOOR04-TYPICAL
SCALE:- 1:100



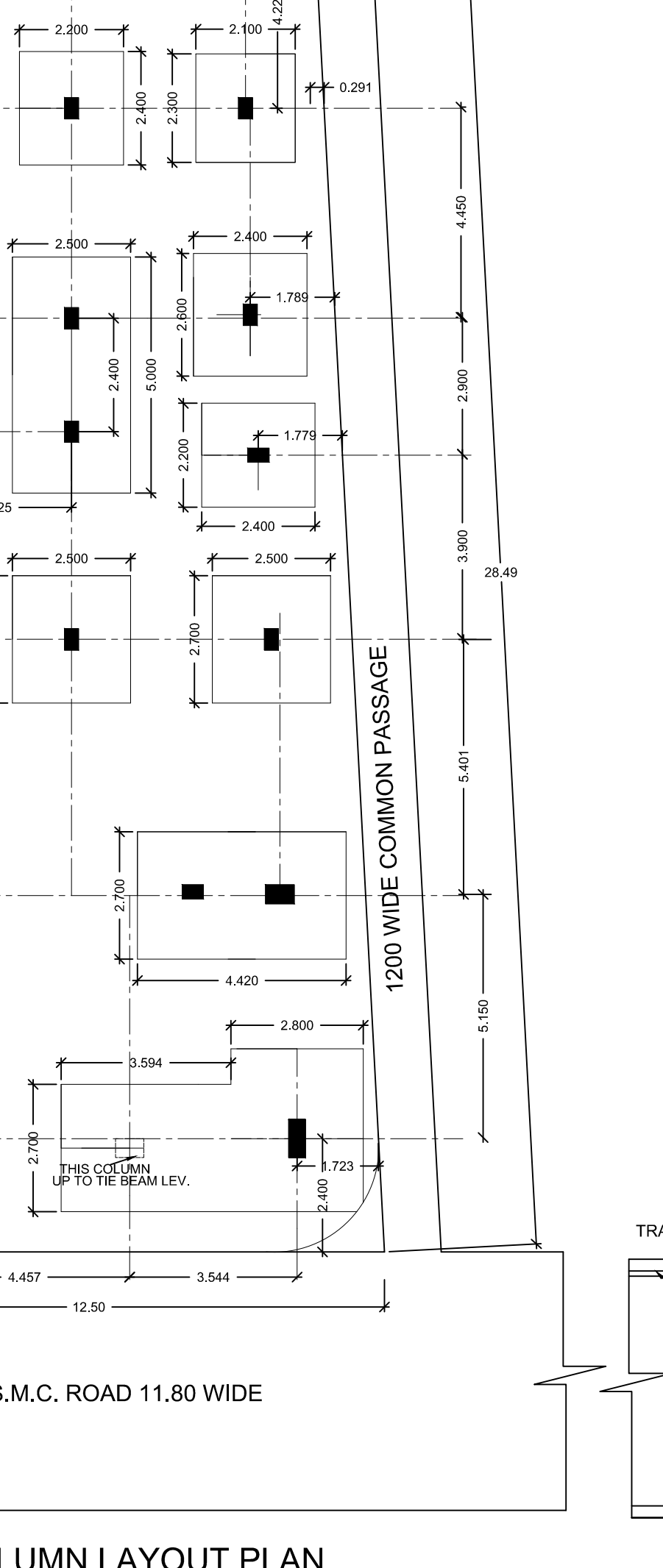
FLOOR TERRACE
SCALE:- 1:100



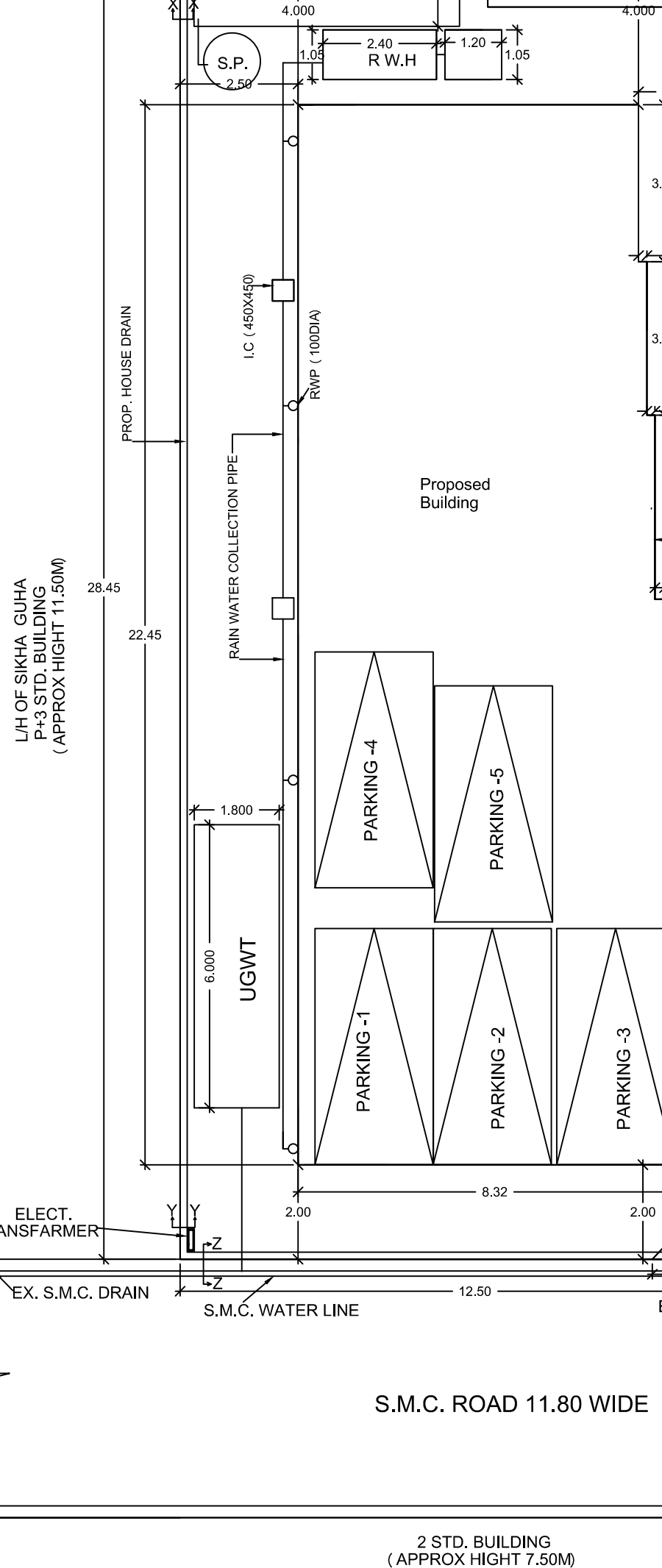
COLUMN LAYOUT PLAN
SCALE:- 1:100



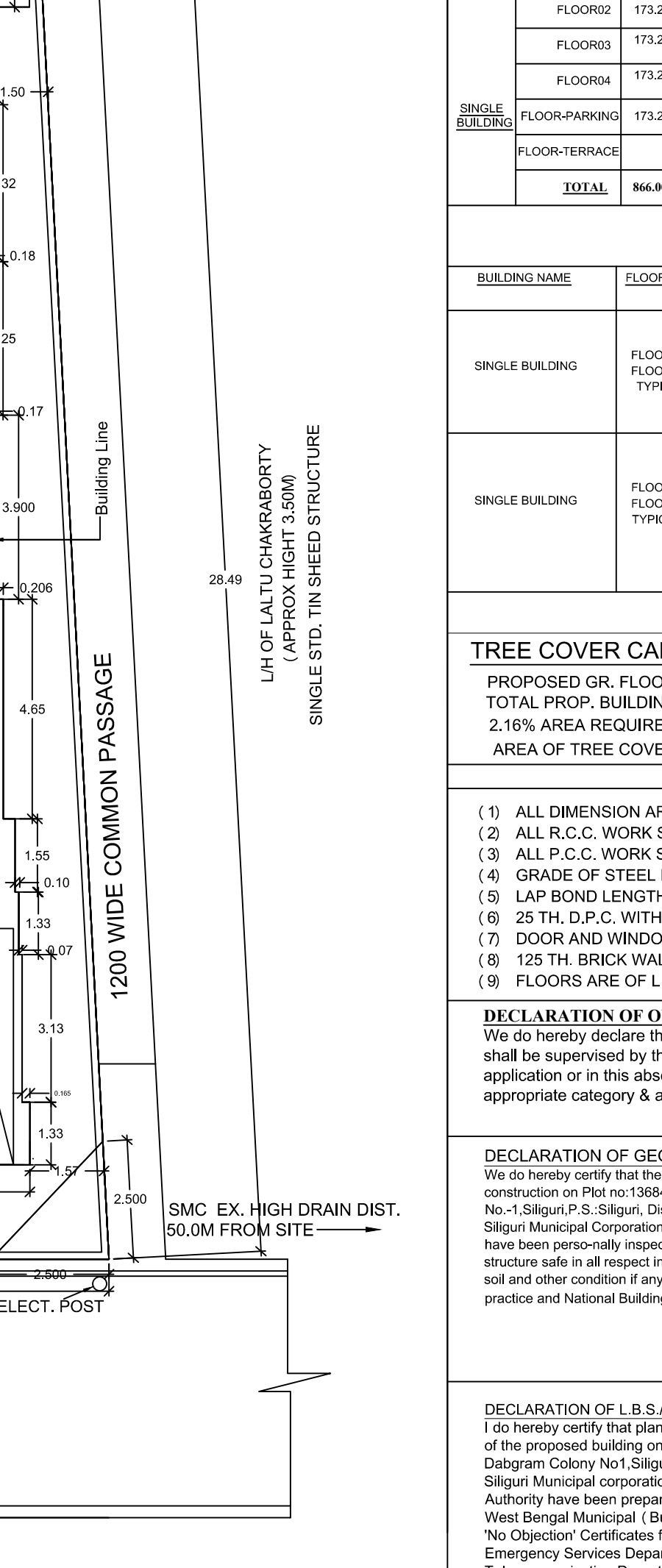
SITE PLAN
SCALE:- 1:100



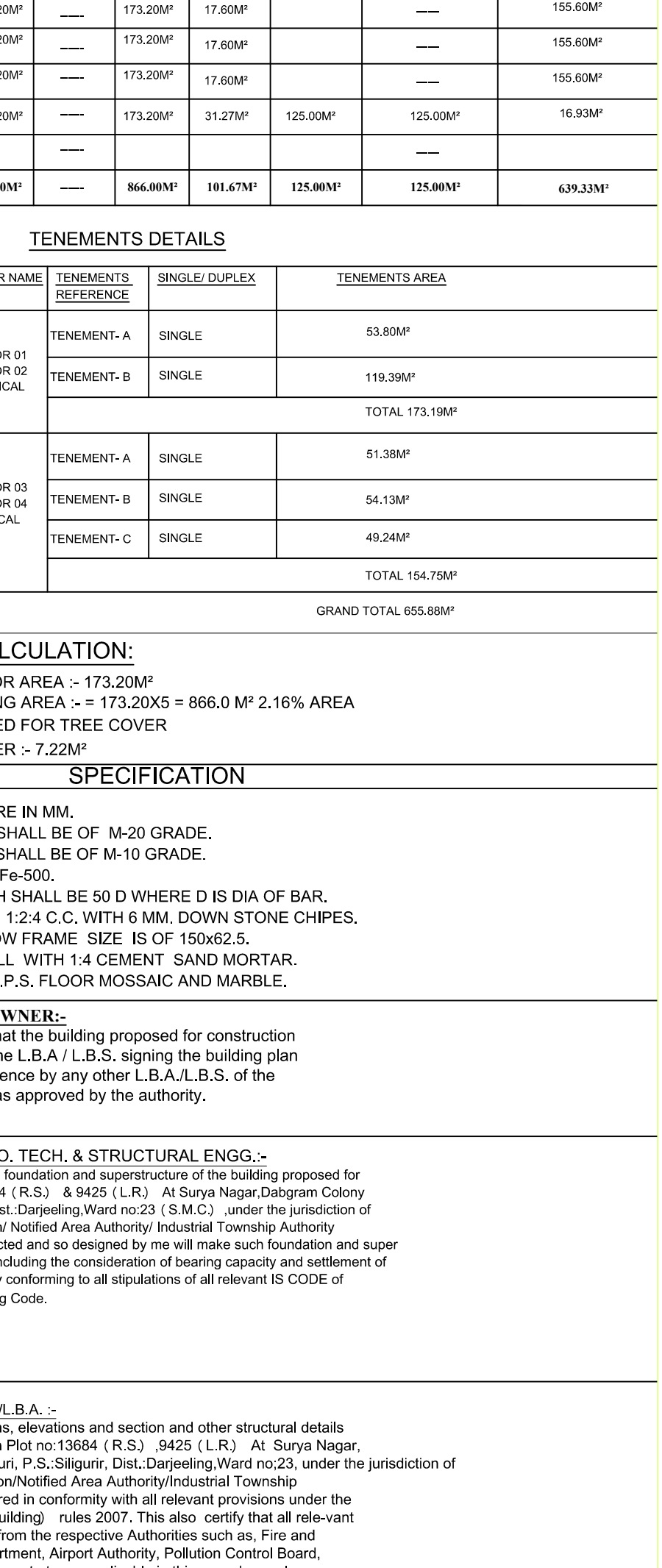
FLOOR01, FLOOR02-TYPICAL
SCALE:- 1:100



FLOOR03, FLOOR04-TYPICAL
SCALE:- 1:100



FLOOR TERRACE
SCALE:- 1:100



COLUMN LAYOUT PLAN
SCALE:- 1:100



SITE PLAN
SCALE:- 1:100